

Building Consent**160489**

Form 5: Section 51, Building Act 2004

The building

Street address of building: 184 Horton Road, Tasman

Legal description of land where building is located: Lot 13 DP 324764

Valuation number: 1928078321

Building name: Level/unit number: 1

Location of building within site block no:

The owner

Name of owner: Geriant & Linda Philp

Contact person: Geriant

Mailing address: 22A Brooks View Heights, RD 1, Upper Moutere
7173

Street address/registered office:

Phone number: Landline: Mobile: 021895256

Daytime: After hours:

Facsimile number: Email address: geraint.philp@gmail.com

Website:

First point of contact for communications with the council/building consent authority:

Full Name: Timm Corrin

Mailing Address: 6 Church Street, Nelson

Phones:: 035391066

Email: timm@kad.co.nz

Building work

The following building work is authorised by this building consent:

Construct a new dwelling with I/A garaging with F/S woodburner: Intended Use: Housing - detached

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

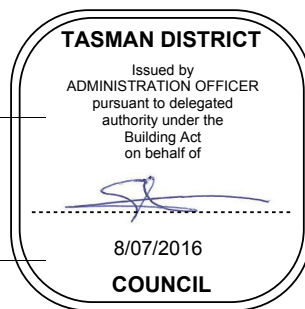
Site Inspection Sheet

Application for Code Compliance Certificate

Additional Information

Signature

Position



On behalf of: Tasman District Council Date: 8/07/16

Additional Information to Building Consent

The owner

Name of owner: Geriant & Linda Philp

Contact person: Geriant

Building work

The following building work is authorised by this building consent:

Construct a new dwelling with I/A garaging with F/S woodburner: Intended Use: Housing - detached

The following information accompanies Building Consent 160489 and should be read in conjunction with inspection conditions.

The Building Inspector is to be given 24 hours' notice before carrying out inspections:

It is Council policy to apply a standard charge; however it reserves the right to assess individual cases as required. Additional charges may be requested if costs or inspections incurred exceed the standard.

If this project contains Restricted Building Work (RBW), the details of the site Licensed Building Practitioner (LBP) will be required prior to the first inspection taking place.

At the completion of RBW, and in conjunction with the 'application for code compliance certificate' a Record of Works (RoW) will be required from any site LBP's that have been involved in the project.

The owner or person undertaking the building work shall advise of completion of work by returning the "Application for Code Compliance Certificate" form which accompanied the consent.

A copy of this consent is to remain on site at all times and you should ensure that a copy is given to any tradesmen e.g. your builder, plumber and drainlayer.

A building consent lapses and is of no effect if the building work to which it relates does not commence within 12 months after the date of issue of the building consent or any further period that the building consent authority may allow.

A Producer Statement review from a chartered professional engineer is required confirming all site inspections as specified in the engineer's schedule have been completed.

The owner and the builder are to locate and identify all boundary survey pegs prior to work commencing.

Proprietary external plaster claddings shall be applied by an approved applicator and in full compliance with manufacturer's instructions.

The exterior texture coating applicator shall, on completion of work provide a Producer Statement stating compliance with all aspects of the texture coating products approved application specification.

Suitability of ground conditions and foundation bearing are not known. Engineer investigation and design may be required. This will be determined during footing inspection.

Producer statement required for waterproofing membrane

All energy works (ie. Prescribed electrical work) requires a Certificate of Compliance (CoC), and Electrical Safety Certificate (ESC) [required after connection, or part installation, to the electrical supply], to be supplied to Council, prior to CCC, upon completion of the energy work.

A producer statement construction (PS3) is required for the construction of all safety barriers, and/or a producer statement construction review (PS4) if the original design was an SED covered by a producer statement (PS1) issued by a CPEng Registered Engineer.

The building consent which has been granted has elements of building work that are deemed to be Restricted Building Work (RBW). These building works must be carried out, or supervised, by a Licensed Building Practitioner(s) who has the appropriate (current) registration and licence class applicable to the specific element of RBW concerned.

The licensed Building Practitioner(s) undertaking any element of Restricted Building Work (RBW) is to provide the appropriate, and completed, Memoranda (Record of Building Work) to the Applicant/Agent and Territorial Authority upon completion of the RBW. All relevant Memoranda (Record of Building Work) are to be submitted by the owner when applying for a CCC.

Before Restricted Building Work (RBW) commences under a building consent, the owner must give the Building Consent Authority a written notice of every Licensed Building Practitioner who is engaged to carry out, or supervise, the RBW under the building consent and was not stated in the original building consent application.

After any Restricted Building Work (RBW) commences under a building consent, the owner must give the Building Consent Authority a written notice if a Licensed Building Practitioner (LBP) ceases to be engaged to carry out, or supervised the RBW. The written notice must state the

Under Section 86 of the Building Act 2004 it is an offence to engage another person to carry out or supervise Restricted Building Work (RBW) if that person is not a Licensed Building Practitioner (LBP).

If any design AMENDMENTS are to be submitted in respect of the building consent that relate specifically to Restricted Building Work, then an updated/new memorandum (Certificate of Design Work) is required from the relevant Design Licensed Building Practitioner concerned.

On the completion of all drainage work, an as-built plan to scale is to be submitted to the Tasman District Council.